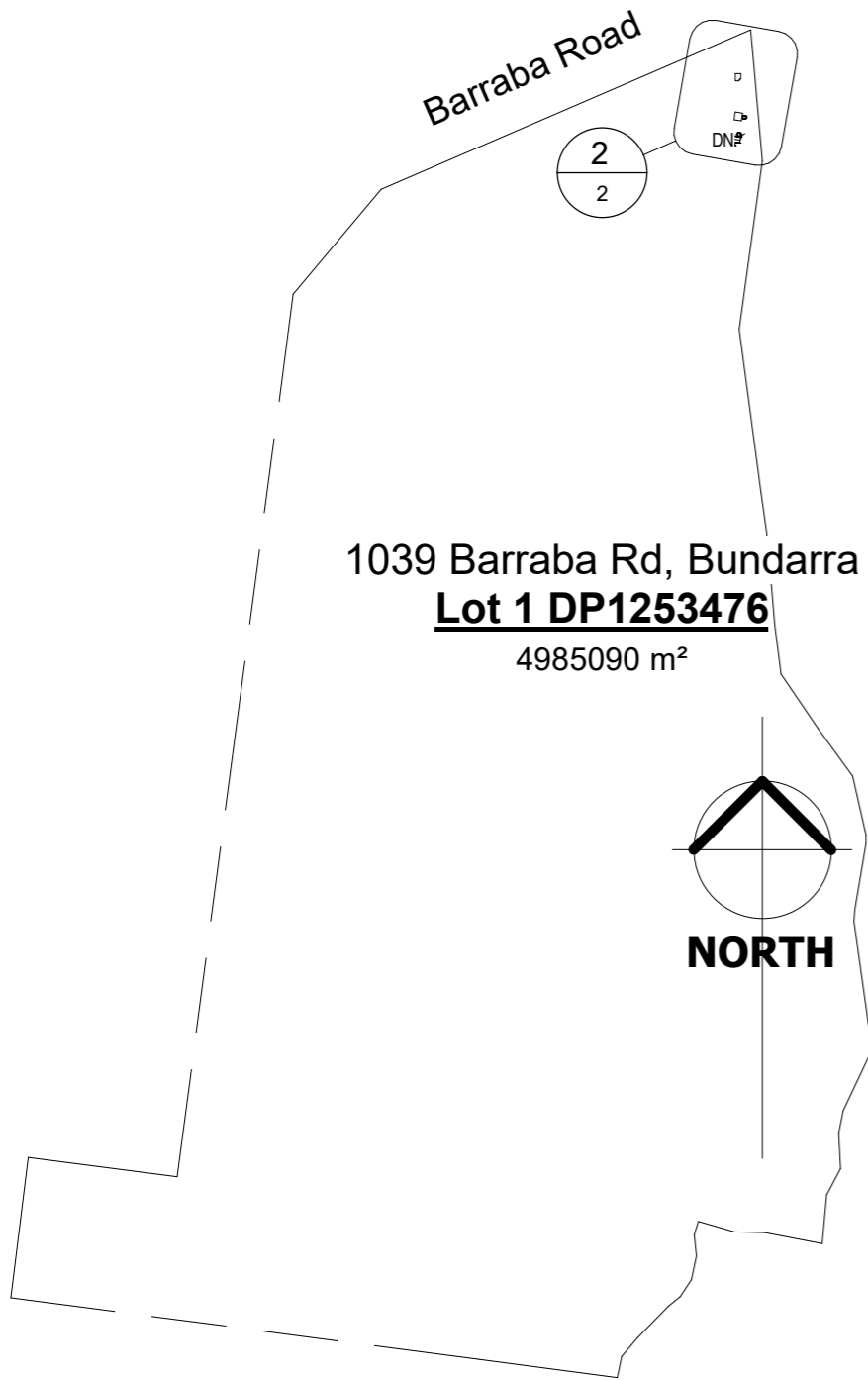


BA12.5 Property Access requirements are as follows. See attached BAL Assessment for more detail.
 Property access roads must be two-wheel drive, all-weather roads.
 The capacity of road surfaces must be sufficient to carry fully loaded firefighting vehicles (up to 23 tonnes).
 There must be suitable access for a Category 1 fire appliance to within 4m of the static water supply where no reticulated supply is available.
 minimum 4m carriageway width;
 a minimum vertical clearance of 4m to any overhanging obstructions, including tree branches;
 property access must provide a suitable turning area in accordance with PBP 2019 Appendix 3;
 curves have a minimum inner radius of 6m and are minimal in number to allow for rapid access and egress;
 the minimum distance between inner and outer curves is 6m;
 the crossfall is not more than 10 degrees; maximum grades of no more than 10 degrees for unsealed roads.



1 1 : 20000
Site



2 1 : 2000
Site - Callout 1

BAL RATING			
Bal Construction Requirements to meet AS3959-2018			
FDI	80		
Bushfire Attack Level	BAL-12.5		
NOTE:	BAL-12.5 is primarily concerned with protection of the building from ember attack, and radiant heat greater than 12.5 kW/m where the site is less than 100m from the source of bushfire attack.		
Construction	5.4.1(b) Wall cladding as per plan ((Non-combustable 400mm or less from ground) a) Fibre-cement external cladding min 6mm thick. b) Custom-Orb cladding 5.4.2 Wall wrap to be installed through-out. 5.4.3 External vents must be less than 3mm or screened with 2mm metal mesh. 5.5.2 Windows as per plan (Minimum Grade A 4mm Safety Glass when >400mm from ground, where openable, metal screens max 2mm aperture). 5.5.3 External doors shall be solid timber with min Grade A 4mm Safety Glass. 5.5.4 Stacker doors as per plan. 5.6.1 Max.3mm gap between Wall Cladding & Roof (Roof to be fully sarked with flammability index of no more than 5). 5.8.0 Above-ground, exposed water & gas supply pipes shall be metal.		
Water Storage	Min 20,000L of dedicated water storage in Concrete Tank with 65mm Stortz Outlet, additional to house water.		
Aspect	Vegetation Group	Distance /m	Slope
North	Woodland	>100	upslope/flat
East	Grassland	52	upslope/flat
South	Grassland	>100	upslope/flat
West	Grassland	45	upslope/flat

Existing Dwelling

Neighboring Sheds

Existing Driveway

Existing Shed

22700l Rainwater Tank
Direct all stormwater from roof - overflow to dam

Proposed Shed and Unit

45m ASSETT PROTECTION ZONE FOR GRASSLAND FIRE THREAT

Septic System - Design by others

CONCEPT - Rev 5 - Issued For Client Approval

Client:	Luke & Phillipa Grossmith		
Project:	Proposed Shed & Unit 1039 Barraba Rd, Bundarra		
Lot/S/PLAN:	1/-/DP1253476	Issue Date:	30/09/2021
Scale:	A3 As indicated	Drawn By:	JB
Sheet:	2 of 6 - SITE	Drawing No:	210622
		Revision date:	

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