

N2 - METAL ROOF

SITE NOTES:

NOTE: PAD LEVEL TO BE CONFIRMED ON SITE. SITE CUT/FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY TO SOILS AND SITE CONDITIONS. IT IS THE OWNER'S RESPONSIBILITY TO STABILISE THE SITE INCLUDING BATTERS AND PROVIDE SEDIMENTATION CONTROL AFTER HANDOVER IF REQUIRED.

CLIENT SIGN: _____ DATE: _____

ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH CURRENT NCC PLUMBING CODE OF AUSTRALIA VOL. 3 (SECTION D) IN ADDITION TO AS/NZS. 3500.

ENSURE 100mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SCREENED SILT PITS AS REQUIRED.

EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING MUST BE DRAINED TO DISPERSE WATER AWAY FROM THE BUILDING GRADED TO A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.

SPOON DRAIN & EARTH BERM TO DIVERT OVERLAND SURFACE WATER AROUND BUILDING PAD.

THE HEIGHT OF OVERFLOW RELIEF GULLIES (ORG) RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100. DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

DISCHARGE STORMWATER TO LOCAL AUTHORITY REQUIREMENTS.

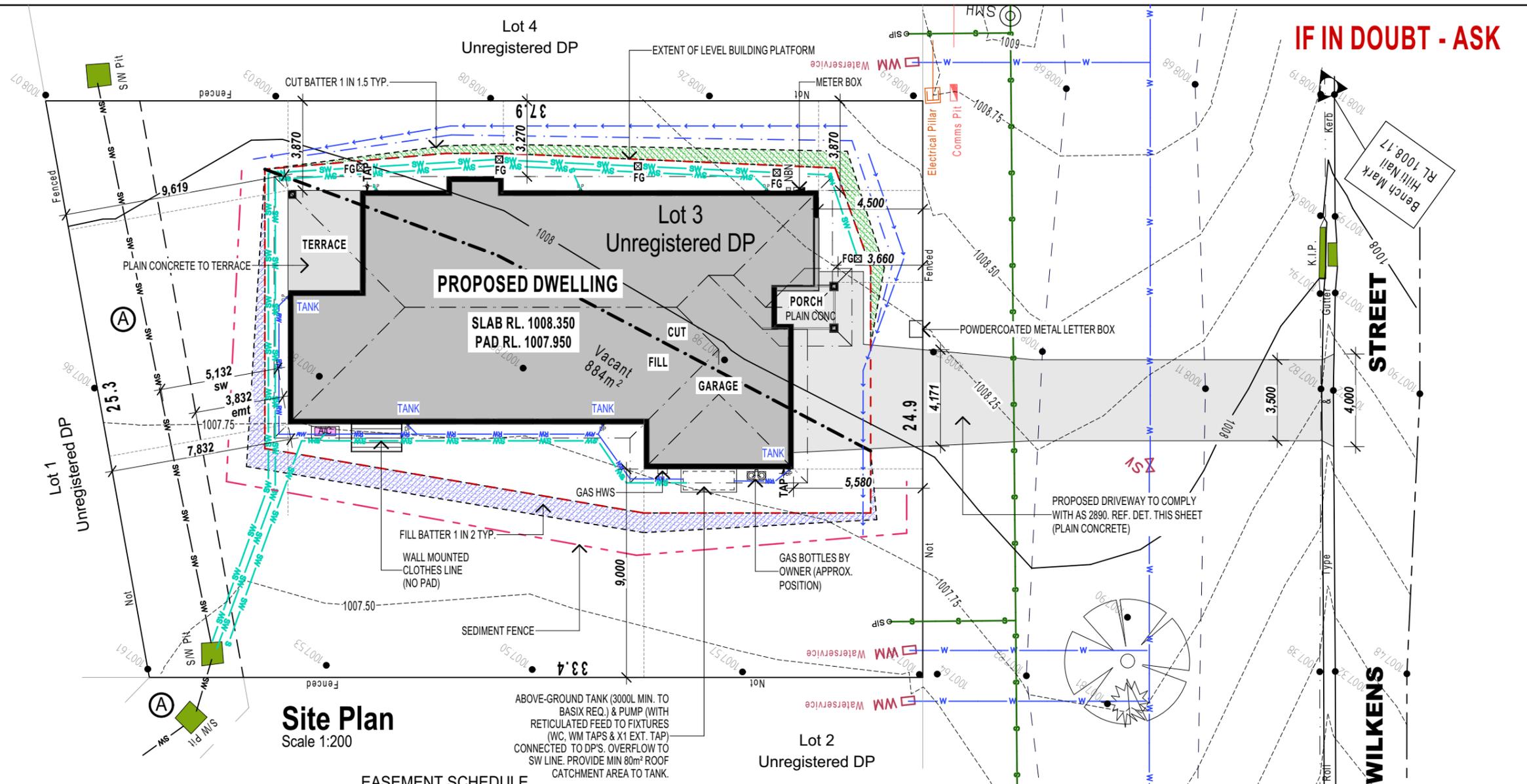
PROVIDE ABLEFLEX EXPANSION JOINT FILLER BETWEEN HOUSE AND DRIVEWAY/TERRACE/PORCH SLAB.

FILL BATTER GRADIENT @ 1 : 2 WHERE ACHIEVABLE (MAX. 1 : 1.5), CUT BATTER GRADIENT @ 1:1.5

SEDIMENT CONTROL BARRIER AS REQUIRED FOR CONSTRUCTION PURPOSES ONLY

PROVIDE MIN. 75mm VERTICAL EXPOSED SLAB EDGE (NOTE - EXPOSED EDGES MUST NOT BE RENDERED, TILED, CLAD, CONCEALED BY FLASHINGS, ADJOINING STRUCTURES, PAVING OR SOIL).

IF IN DOUBT - ASK



Site Plan
Scale 1:200

EASEMENT SCHEDULE

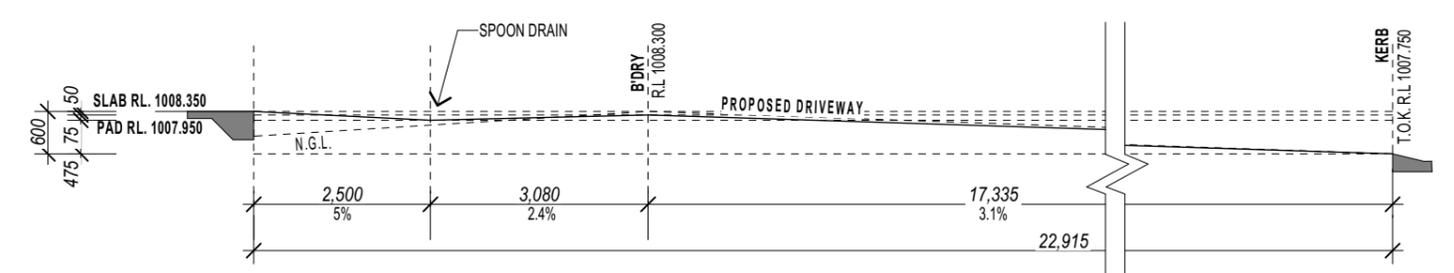
- Ⓐ Easement to Drain Water 4 Wide Unregistered DP

SURVEY LEGEND

- K.I.P. Kerb Inlet Pit
- Fence
- 50.23m Boundary & Dimension
- Contour & Height (0.2m Interval)
- Spot Level
- Underground Telstra Cables
- Watermains & Size
- Waterservices
- Underground Electrical Cables
- Sewer Pipes and Manholes
- Stormwater Pipe & Size
- Gasmain

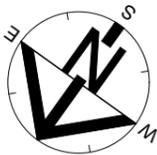
SERVICES LEGEND

- FIELD GULLY PIT CONNECTED TO STORMWATER LINE (5 OFF)
- SEWER LINE
- RAINWATER LINE
- UNDERGROUND ELECTRICAL CONDUIT & SERVICE PILLAR
- EXISTING OVERHEAD ELECTRICAL CABLE & POLE
- WATER RETICULATION LINE & WATER METER
- GAS RETICULATION LINE
- TELSTRA LINE
- SPOON DRAIN
- EARTH BERM
- SEDIMENT FENCE (ON FALL SIDE ONLY)



Driveway Section
Scale 1:100

Scale 1:200 @A3
2.0 0.0 2.0 4.0 6.0 8.0 10.0



PROPERTY DESCRIPTION:

LOT 3 ON DP (NOT REGISTERED)
URALLA
URALLA SHIRE COUNCIL
SITE AREA - 884m²
SITE COVERAGE - 27.48%

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I/WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT
Signature: _____ Date: _____
Signature: _____ Date: _____

R.A. Tobler & J.P. Kleindienst
Lot 3, Wilkens Street
Uralla, NSW 2358
client details:

Dune 26 Std Metro LH
Site Plan
drawing title

issue	date	amendment description	by	designed: JD	drawn: JD	checked: SAC
B	04.03.22	CONTRACT ISSUE	JD			
A	21.02.22	PRELIMINARY ISSUE	JD			

CONTRACT PLAN
(Not for Construction)
plan issue type

10264
contract number

B as shown
revision no. dwg scale @ A3
4/03/2022
printed date: sheets in set