

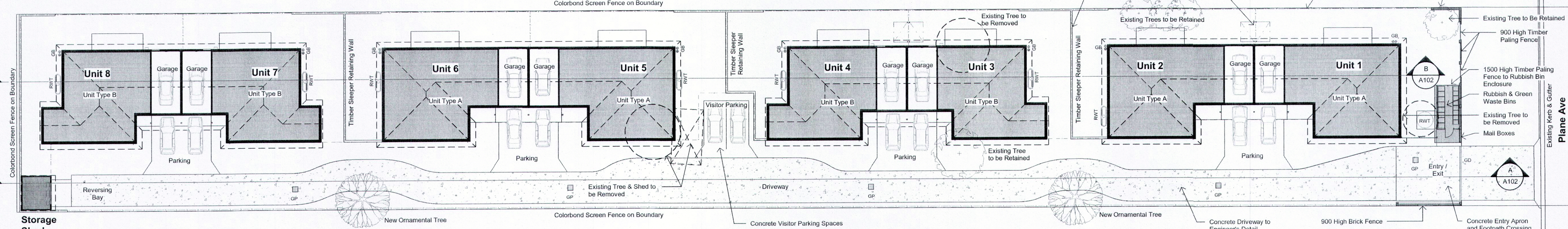
NOT FOR CONSTRUCTION		
No.	Date	Revision
1	7/08/19	Issued for Coordination
2	18/10/19	Issued for Coordination
3	25/10/19	Preliminary Approvals Drawings for Review
4	30/10/19	Preliminary Approvals Drawings for Review
5	11/11/19	Preliminary Approvals Drawings for Review

#### Site Information

SITE ADDRESS : 7 PLANE AVE. URALLA 2358  
PROPERTY DETAILS : LOT 72, DP 361116  
SITE AREA : 3.545m<sup>2</sup>  
TOTAL FLOOR AREA : 1,120m<sup>2</sup>  
TOTAL LANDSCAPE AREA : 49.2%  
TOTAL HARDSTAND AREA : 29.3m<sup>2</sup>  
BUSHFIRE AFFECTED : NO

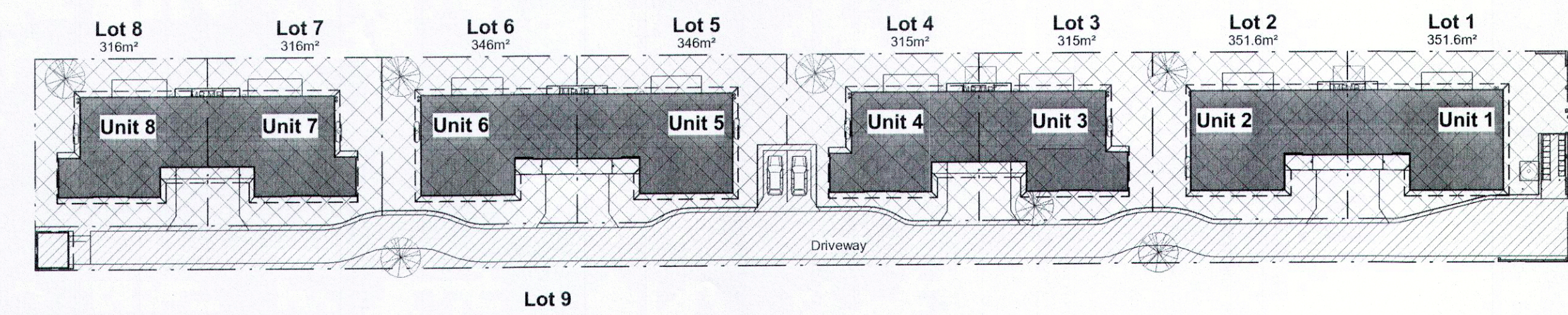
Adjoining Property  
5 Plane Ave.

Adjoining Property  
9 Plan Ave



#### Site Layout Plan

1 : 250

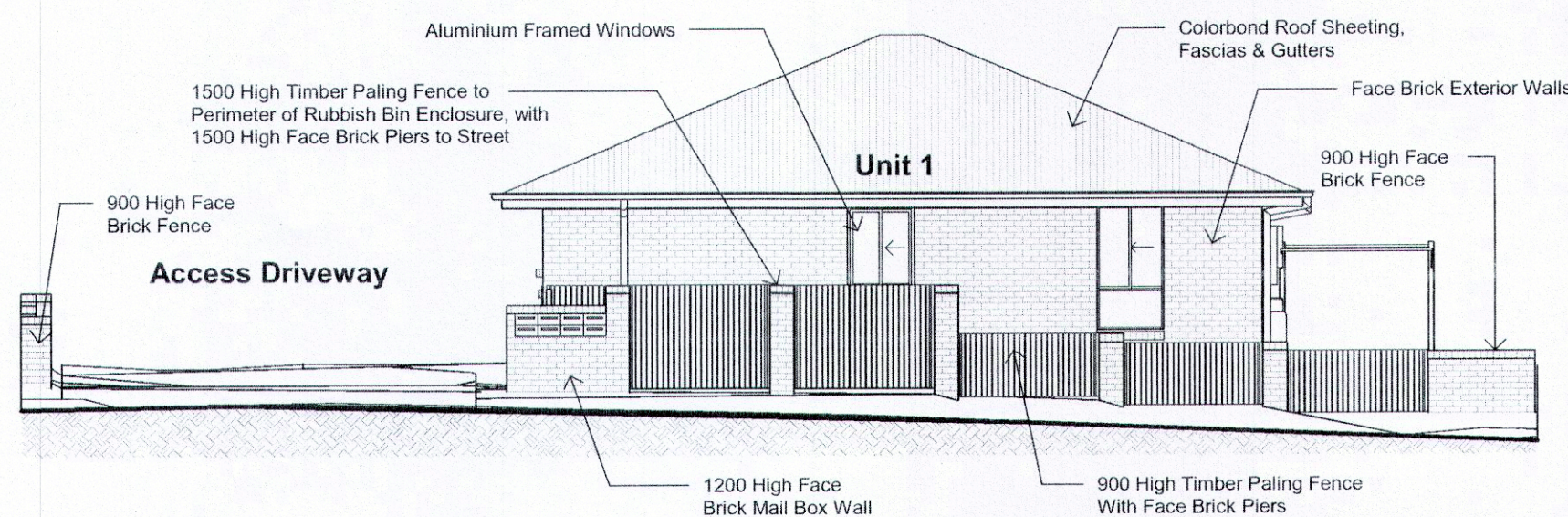


#### Lot Plan

1 : 500

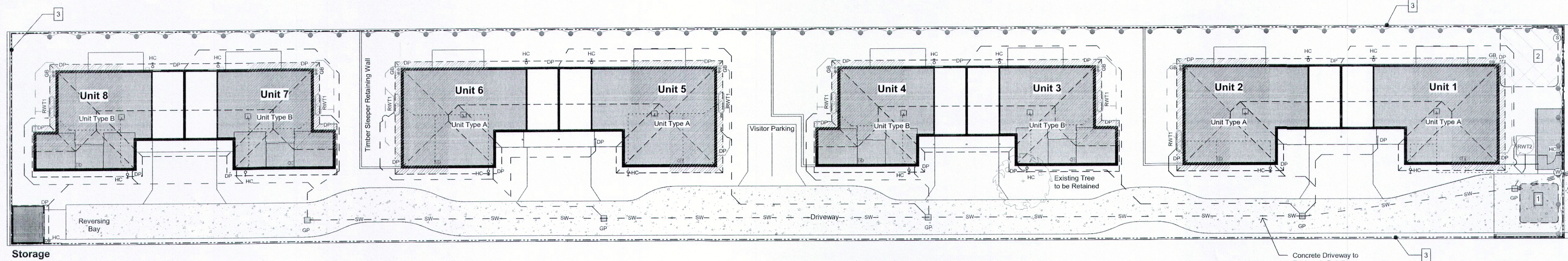
#### Areas Schedule

	Unit Type / Unit No.							
	A				B			
	1	2	3	4	5	6	7	8
Floor Area	123m <sup>2</sup>	123m <sup>2</sup>	109m <sup>2</sup>	109m <sup>2</sup>	123m <sup>2</sup>	123m <sup>2</sup>	109m <sup>2</sup>	109m <sup>2</sup>
Garage	24m <sup>2</sup>	24m <sup>2</sup>	24m <sup>2</sup>	24m <sup>2</sup>	24m <sup>2</sup>	24m <sup>2</sup>	24m <sup>2</sup>	24m <sup>2</sup>
Entry Porch	5m <sup>2</sup>	5m <sup>2</sup>	2m <sup>2</sup>	2m <sup>2</sup>	5m <sup>2</sup>	5m <sup>2</sup>	2m <sup>2</sup>	2m <sup>2</sup>
Terrace	10m <sup>2</sup>	10m <sup>2</sup>	10m <sup>2</sup>	10m <sup>2</sup>	10m <sup>2</sup>	10m <sup>2</sup>	10m <sup>2</sup>	10m <sup>2</sup>
Total	162m <sup>2</sup>	162m <sup>2</sup>	145m <sup>2</sup>	145m <sup>2</sup>	162m <sup>2</sup>	162m <sup>2</sup>	145m <sup>2</sup>	145m <sup>2</sup>



#### Plane Ave Elevation

1 : 100



#### Site Drainage & Sedimentation Plan

1 : 250

#### Site Legend

- SILTATION CONTROL AS DETAILED IN ACCORDANCE WITH URALLA SHIRE COUNCIL REQUIREMENTS
- SEWER LINE
- SEWER CONNECTION POINT
- WATER CONNECTION POINT
- HYDRANT POINT
- GARDEN TAP LOCATION
- DOWN PIPE LOCATION
- GRATED PIT
- GRATED DRAIN
- CATCHMENT OF ROOF AREA TO BE DIRECTED TO TANK
- PROPOSED 2000 LITRE TANK LOCATIONS
- PROPOSED 2400 LITRE TANK LOCATION UNIT 1
- DOWNPIPE TO RAINWATER TANK
- WATER FROM TANK TO FIXTURES
- STORMWATER LINE
- CONSTRUCTION FENCING

#### DO NOT SCALE USE FIGURED DIMENSIONS ONLY

Printing processes may cause the scale of this drawing to be inaccurate. The Contractor must verify all dimensions on site before commencing any work or preparing shop drawings.  
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Proposed Residential Unit Development  
7 Plane Ave. Uralla NSW  
For Mr. Dan Brown

#### Site Plans & Street Elevation

Designed	PH	Drawn	ANE
Scale	As indicated	Project Phase	Approvals
Date	October 2018	Drawing Number	
Approved	PH	18106	A101
			5

SCALE @ A1 - As indicated  
WHEN PLOTTED TO A3, SCALE DOUBLES

#### SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL SHALL BE EFFECTIVELY MAINTAINED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL THE SITE HAS BEEN STABILISED OR LANDSCAPED TO THE SATISFACTION OF THE SUPERINTENDENT'S / OWNER'S SATISFACTION.  
A SINGLE ALL-WEATHER ACCESS WAY WILL BE PROVIDED AT THE FRONT OF THE PROPERTY, OR AT A LOCATION DETERMINED BY THE SUPERINTENDENT / OWNER. THE ACCESS SHALL CONSIST OF 50-75 AGGREGATE OR SIMILAR MATERIAL AT A MINIMUM THICKNESS OF 150 LAD OVER REINFORCED GEOTEXTILE FABRIC AND CONSTRUCTED PRIOR TO COMMENCEMENT OF WORKS.  
THE CONTRACTOR SHALL ENSURE THAT NO SPILL OR FILL ENDOUCHES UPON ADJACENT AREAS FOR THE DURATION OF WORKS.  
THE CONTRACTOR SHALL ENSURE THAT KERS INLETS AND DRAINS RECEIVING STORMWATER SHALL BE PROTECTED AT ALL TIMES DURING THE CONSTRUCTION WORKS. KERS INLET SEDIMENT TRAPS SHALL BE INSTALLED ALONG THE IMMEDIATE VICINITY ALONG THE STREET FRONTAGE.  
SEDIMENT FENCING SHALL BE SECURED BY POST (WHERE METAL STAR PICKETS ARE USED PLASTIC SAFETY CARDS SHALL BE USED) AT 2000 INTERVALS WITH GEOTEXTILE FABRIC EMBEDDED 200 IN SOIL.  
ENSURE ALL TOPSOIL STRIPPED FROM THE SITE AND STOCKPILED DOES NOT INTERFERE WITH DRAINAGE LINES AND STORMWATER INLETS AND IS SUITABLY COVERED WITH AN IMPERVIOUS MEMBRANE MATERIAL AND SCREENED BY SEDIMENT FENCING.  
SOIL CONSERVATION NOTE:  
PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE 'SEDIMENT FENCE', 'SEDIMENT TRAP', AND WASHOUT AREA TO ENSURE THE CAPTURE OF WATER BORNE MATERIAL GENERATED FROM THE SITE.  
MAINTAIN THE ABOVE DURING THE COURSE OF CONSTRUCTION, AND CLEAR THE 'SEDIMENT TRAP' AFTER EACH STORM.  
SEDIMENT TRAP:  
1000 x 1000 WIDE 500 DEEP PIT, LOCATED AT THE LOWEST POINT TO TRAP SEDIMENT.  
WASHOUT AREA:  
TO BE 1800 x 1900 ALLOCATED FOR THE WASHING OF TOOLS AND EQUIPMENT.  
EDGE BOARD  
250 x 50 PEG  
SAND 100  
EARTH

#### SEDIMENT FENCE

PROVIDE 'SEDIMENT FENCE' ON DOWN SLOPE BOUNDARY, OR AS SHOWN ON THE PLAN. FABRIC TO BE BURIED BELOW GROUND AT LOWER EDGE.  
OVERLAPPING POST DRIVEN 800 INTO THE GROUND.  
3000 MAX.  
600-1000  
GEOTEXTILE FABRIC  
RUNOFF  
FOR LARGER WORK AREAS, USE STRAWBALES:  
STAKES DRIVEN 800 INTO THE GROUND WITH FIRST STAKE ANGLED TOWARDS PREVIOUSLY LAD SALE  
GEOTEXTILE FILTER FABRIC LAD SALE  
FASTER ON TOP EDGE  
STRAW BALE AND GEOTEXTILE SEDIMENT FILTER  
UNDISTURBED AREA  
DISTURBED AREA  
DRAINAGE AREA 0.5 HA. MAX. SLOPE GRADIENT 1:2 MAX. SLOPE LENGTH 50m

#### VEHICLE ACCESS TO SITE

VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.  
BERM 200 HIGH MIN.  
2000 MIN.  
GEOTEXTILE FABRIC  
RUNOFF FROM PAD DIRECTED TO SEDIMENT TRAP  
BUILDING MATERIAL STOCKPILES  
ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.  
THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.  
WATERPROOF COVERING  
EARTH BANK TO PREVENT SCOUR OF STOCKPILE  
SEDIMENT FENCE

#### SANDBAG KERR SEDIMENT TRAP

IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.  
SANDBAG IN GUTTER  
2000 MIN.  
RUNOFF

#### SITE NOTES:

- CONTOURS AND SPOT LEVELS ARE INDICATIVE ONLY AND FINAL SITE LEVELS COMPLETED BY A REGISTERED SURVEYOR IS RECOMMENDED BEFORE START OF CONSTRUCTION.
- STORMWATER DRAINAGE AND OVERFLOW FLOW TO DRAINAGE EASEMENT AT REAR OF BLOCK.
- SEDIMENTATION AND EROSION CONTROL MEASURES DURING CONSTRUCTION IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
- SECURITY FENCING AND GATES DURING CONSTRUCTION TO COUNCIL REQUIREMENTS

#### CONSTRUCTION NOTES:

- BLUE METAL GRAVEL LAID AT ENTRANCE OF SITE TO REMOVE EXCESS SOILS FROM VEHICLES AT EXIT. MINIMUM SIZE OF GRAVEL TO BE NO LESS THAN 20mm DIAMETER.
- ANY STOCKPILING OF SOILS ON SITE WILL NEED TO BE CONTROLLED FROM DUST BY WATERING OR COVERING AS REQUIRED TO PREVENT EROSION & DUST NUISANCE. HOSE TO BE AVAILABLE ON SITE.
- CONSTRUCTION FENCE TO PERIMETER OF CONSTRUCTION SITE IN ACCORDANCE WITH URALLA SHIRE COUNCIL REQUIREMENTS.

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1:200 0 1 2 5 10m 15m 20m 1:20 0 0.1 0.2 0.5 1m 1.5m 2m  
1:100 0 0.5 1 2 5m 10m 1:50 0 0.5 1 2 5m