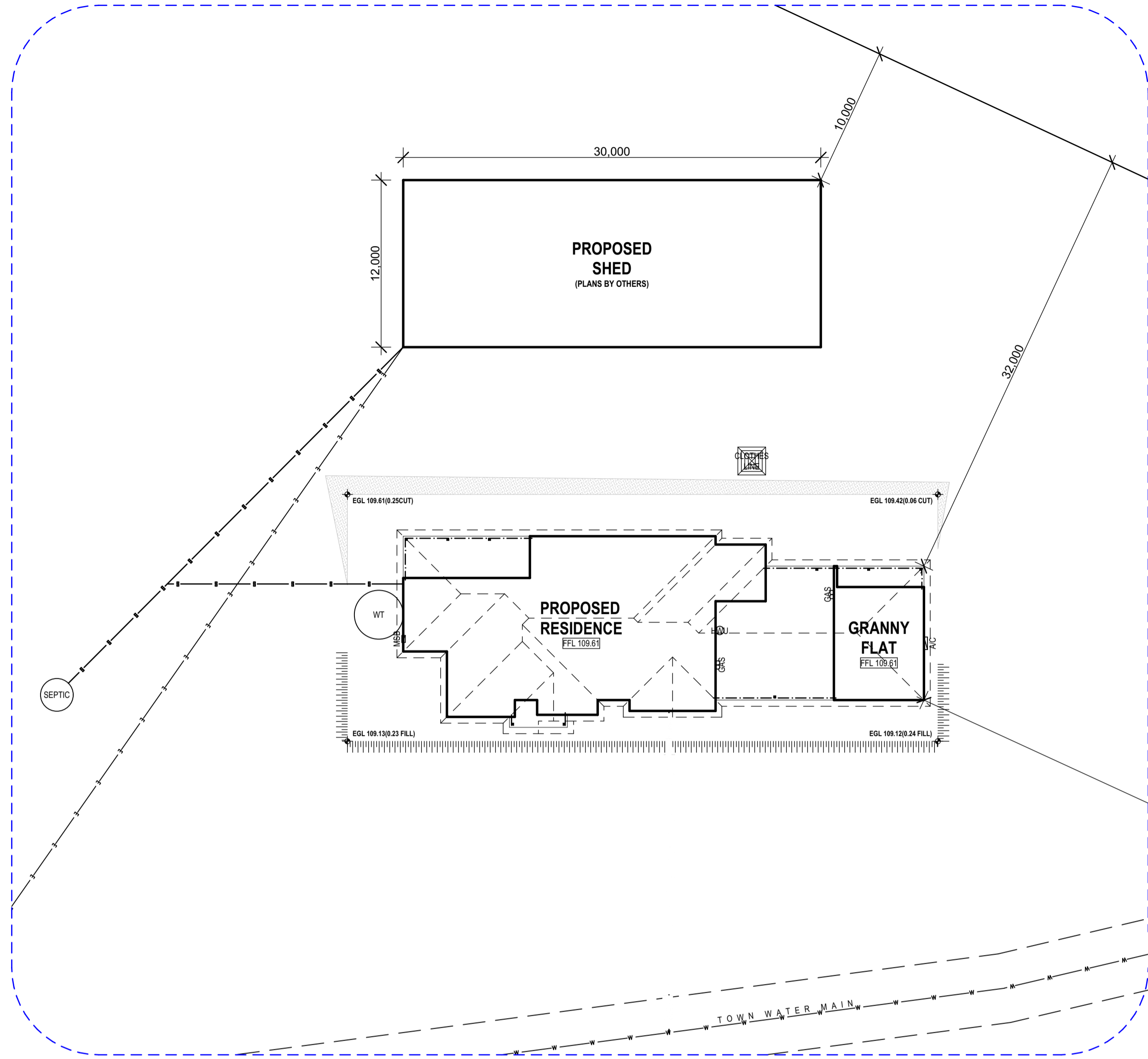


LOCATION PLAN

SCALE 1:1000@A1



SITE DETAIL

SCALE 1:200@A1



ARTIST IMPRESSION

NOT TO SCALE

BASIX COMMITMENTS									
FIXTURES									
	SHOWERHEADS	TOILETS	KITCHEN TAPS	BATHROOM TAPS	HW RECIRCULATION OR DIVERSION				
ALL DWELLINGS	3 STAR	3 STAR	3 STAR	3 STAR	NO				
ALTERNATIVE WATER									
	ALTERNATIVE WATER SUPPLY	SIZE	CONFIGURATION	LANDSCAPE CONNECTION	TOILET CONNECTION	LAUNDRY CONNECTION	POOL/SPA TOP UP		
UNIT 1	WATER TANK	80,000L	2500° OF RUNOFF	YES	NO	YES	NO		
HOT WATER & VENTILATION									
	HOT WATER SYSTEM	BATHROOM VENTILATION	KITCHEN VENTILATION	LAUNDRY VENTILATION					
ALL DWELLINGS	SOLAR/ELECTRIC BOOSTED (1.1-25 STCS)	INDIVIDUAL FAN DUCTED TO FACADE/ROOF	INDIVIDUAL FAN DUCTED TO FACADE/ROOF	NATURAL VENTILATION ONLY					
HEATING/COOLING & APPLIANCES									
	COOLING	HEATING	COOKTOP & OVEN	WELL VENTILATED FRIDGE SPACE	OUTDOOR/INDOOR CLOTHES LINE				
ALL DWELLINGS	1-PHASE AIR CONDITIONING WITH AN EER OF 3.0-3.5 (ZONED)	1-PHASE AIR CONDITIONING WITH AN EER OF 3.0-3.5 (ZONED)	ELECTRIC COOKTOP	YES	OUTDOOR				
ARTIFICIAL LIGHTING									
	NO BEDROOMS &/OR STUDY	NO LIVING/ DINING AREAS	KITCHEN	BATHROOMS/ TOILETS	LAUNDRY	HALLWAY	NO. BATHROOMS/ TOILETS	MAIN KITCHEN	
UNIT 1	4	3	YES	NO	NO	YES	2	NO	
UNIT 2	1	1	YES	NO	NO	YES	1	YES	

WINDOWS, GLAZED DOORS & SKYLIGHTS				
WINDOW/ DOOR NO.	MAX HEIGHT (mm)	MAX WIDTH (mm)	SHADING (DIMENSION WITHIN 10%)	OVERSHADOWING
NORTH FACING				
GF-W05	1500	2100	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
W08	900	900	EAVE 750mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
W09	1800	1800	NONE	NOT OVERSHADOWED
SD04	2100	1800	NONE	NOT OVERSHADOWED
W10	1500	1500	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
W11	1800	1200	NONE	NOT OVERSHADOWED
W12	1800	1200	EAVE 1350mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
W13	1800	1200	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
W14	1800	1200	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
W16	1500	2400	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GF-W01	600	900	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
EAST FACING				
W15	1500	2400	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
SOUTH FACING				
SD01	2100	4800	EAVE 3450mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
W01	1000	600	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
W02	1500	1500	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
W03	1500	1500	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
W04	600	1200	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
W05	1500	1500	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GF-W02	900	900	EAVE 1850mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
SD03	2100	1800	EAVE 1850mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
WEST FACING				
W06	900	900	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
W07	900	900	EAVE 4500mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
SD02	2100	1500	EAVE 8500mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GF-W03	600	1800	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED
GF-W04	600	2400	EAVE 600mm, 0mm ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED



REV	DATE	AMENDMENT	DT
08	13/04/22	REVISED ISSUE FOR CONSTRUCTION	SB
09	26/04/22	REVISED ISSUE FOR CONSTRUCTION	SB

DEVELOPMENT NOTES

ALL WORKS WITHIN ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAILED WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND DOCUMENTATION PROVIDED BY RELEVANT CONSULTANTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.

BOUNDARY LOCATIONS AND PROPOSED WORKS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL UNDERGROUND SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED "CONSTRUCTION".

DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.

ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

PROVIDE DOWN PIPES IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & AS2180 METAL RAINWATER GOODS.

PROVIDE LIFT OFF HINGES TO WC DOORS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

PROVIDE WATERPROOFING SYSTEM TO ALL WET AREAS IN ACCORDANCE WITH CLAUSE 3.8.1 OF THE BCA & AS3740.

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS3680.1.

INSULATION MUST BE INSTALLED IN ACCORDANCE WITH PART 3.12.1.1 OF THE BUILDING CODE OF AUSTRALIA.

INSULATION MUST COMPLY WITH AS/NZS 4859.1 AND THE BASIX CERTIFICATE.

CONDENSATION MANAGEMENT TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.7 OF THE BUILDING CODE OF AUSTRALIA.

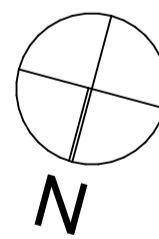
OFF-STREET CAR PARKING & VEHICLE ACCESS IN ACCORDANCE WITH AS/NZS 2980.1-2004.

LEGEND	
WT	80,000LITRE WATER TANK
TP	150x150 TIMBER POST
BP	350x350 BRICK PEIR
SC	90x90 STEEL COLUMN
SA	SMOKE ALARM
450Hx450W NICHE	
DP	DOWN PIPE
ST	STOVE
SNK	SINK
WC	WATER CLOSET
SHR	SHOWER
RC	REINFORCED CONCRETE
WM	WATER METER
CL	CLOTHES LINE
FW	FLOOR WASTE
HWU	HOT WATER UNIT
MSB	MAIN SWITCH BOARD
FFL	FINISHED FLOOR LEVEL
FSL	FINISHED SLAB LEVEL
EGL	EXISTING GROUND LEVEL
FGL	FINISHED GROUND LEVEL

SITE LAND ZONING - R2

SITE AREAS & COVERAGE

ROOF AREA	511m ²
SITE AREA	5.179ha



G.J. Gardner. HOMES

Client	D&R. CARTER
Project Name	PROPOSED RESIDENCE
	2 SOMERSET CLOSE
	URALLA NSW 2358

Drawing Title:	SITE PLAN
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Status:	CONSTRUCTION	Scale:	AS SHOWN
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Project No:	GJN064	Sheet No.:	WD1
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Plot Date:	26/04/2022
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