

N2 - METAL ROOF

SITE NOTES:

NOTE: PAD LEVEL TO BE CONFIRMED ON SITE. NOMINATED CUT/FILL HEIGHTS ARE INDICATIVE ONLY. SITE CUT/FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY TO SOILS AND SITE CONDITIONS. IT IS THE OWNER'S RESPONSIBILITY TO STABILISE THE SITE INCLUDING BATTERS AND PROVIDE SEDIMENTATION CONTROL AFTER HANDOVER IF REQUIRED.

CLIENT SIGN:.....DATE:.....

ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH CURRENT NCC PLUMBING CODE OF AUSTRALIA VOL. 3 (SECTION D) IN ADDITION TO AS/NZS. 3500.

ENSURE 100mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SCREENED SILT PITS AS REQUIRED.

EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING MUST BE DRAINED TO DISPERSE WATER AWAY FROM THE BUILDING GRADED TO A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.

SPOON DRAIN & EARTH BERM TO DIVERT OVERLAND SURFACE WATER AROUND BUILDING PAD.

THE HEIGHT OF OVERFLOW RELIEF GULLIES (ORG) RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100. DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

DISCHARGE STORMWATER TO LOCAL AUTHORITY REQUIREMENTS.

PROVIDE ABELFLEX EXPANSION JOINT FILLER BETWEEN HOUSE AND DRIVEWAY/TERRACE/PORCH SLAB.

FILL BATTER GRADIENT @ 1:2 WHERE ACHIEVABLE (MAX. 1:1.5), CUT BATTER GRADIENT @ 1:1.5

SEDIMENT CONTROL BARRIER AS REQUIRED FOR CONSTRUCTION PURPOSES ONLY

PROVIDE MIN. 75mm VERTICAL EXPOSED SLAB EDGE (NOTE - EXPOSED EDGES MUST NOT BE RENDERED, TILED, CLAD, CONCEALED BY FLASHINGS, ADJOINING STRUCTURES, PAVING OR SOIL).

BATH STEWART ASSOCIATES

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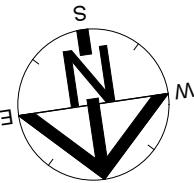
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PROPERTY DESCRIPTION:

LOT 2 ON DP 1281666  
LOCALITY - URALLA  
COUNCIL - URALLA  
SITE AREA - 1,286m<sup>2</sup>  
SITE COVERAGE - 18.27%

IF IN DOUBT - ASK



SERVICES LEGEND

SW

SW

SW

FG

FIELD GULLY PIT CONNECTED TO STORMWATER LINE APPROX. 6m APART MAX. (7 OFF)

S

S

S

S

SEWER LINE

RW

RW

RW

RW

RAINWATER LINE

E

E

E

E

UNDERGROUND ELECTRICAL CONDUIT & SERVICE PILLAR

OH

OH

OH

OH

EXISTING OVERHEAD ELECTRICAL CABLE & POLE

W

W

W

W

WATER RETICULATION LINE & WATER METER

GAS

GAS

GAS

GAS

GAS RETICULATION LINE

T

T

T

T

TELSTRA LINE

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SPOON DRAIN

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EARTH BERM

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SEDIMENT FENCE (ON FALL SIDE ONLY)

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LEVEL BUILDING PLATFORM

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RETAINING WALL

Scale 1:200 @A3

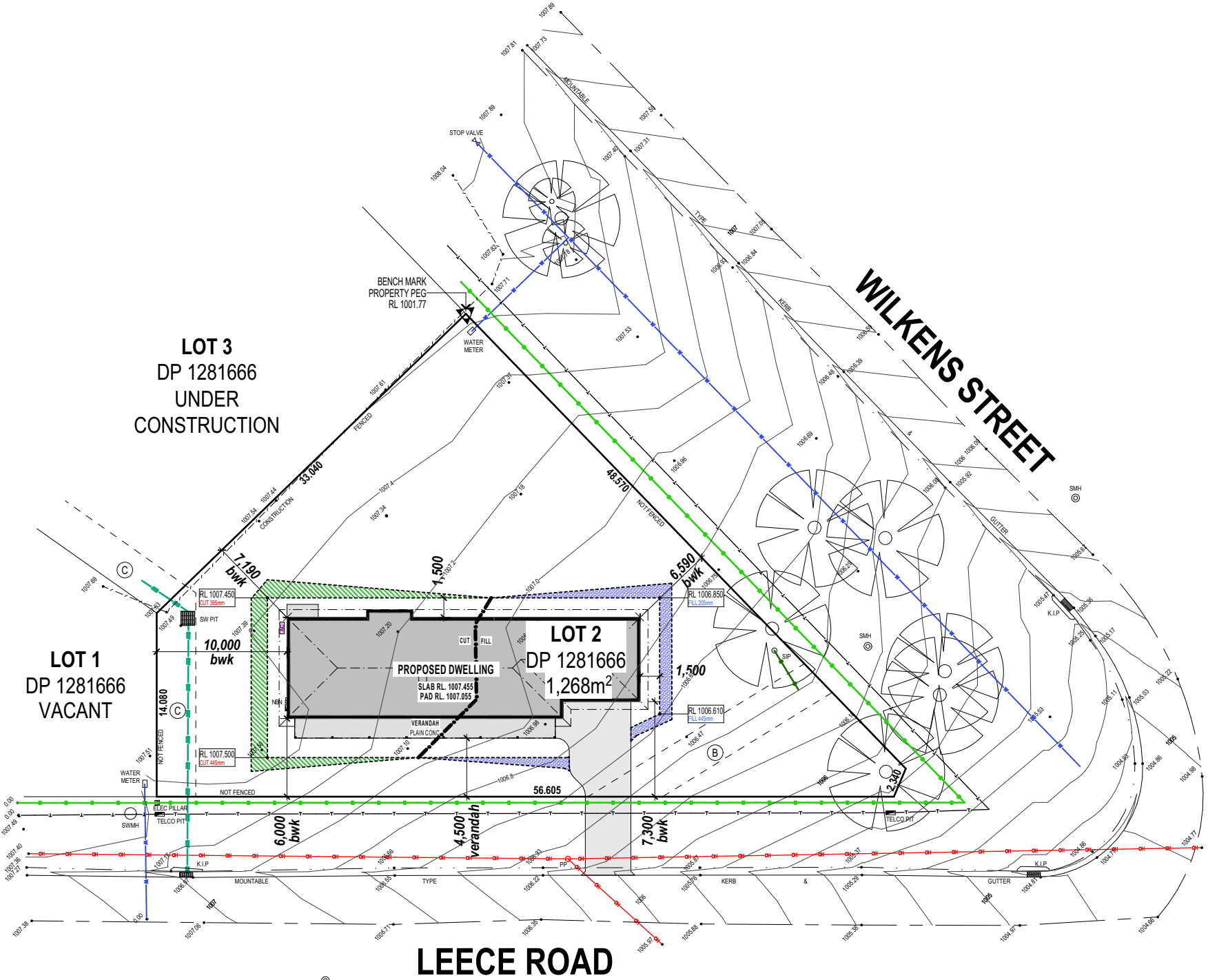
2.0 0.0 2.0 4.0 6.0 8.0 10.0

Denotes Cut

BATTER 1 IN 1.5 TYP.

Denotes Fill

BATTER 1 IN 2 TYP.



LEECE ROAD

Locality Plan

Scale 1:400

SCHEDULE OF EASEMENTS

- (B)

EASEMENT TO DRAIN SEWAGE 3 WIDE

...DP 1171361
- (C)

EASEMENT TO DRAIN WATER 3 WIDE

...DP 1281666

Perry Homes

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S. Turner

Lot 2 (No. 19) Leece Road

Uralla, NSW. 2358

client details:

Glenreigh 25 Std Prestige RH

Locality Plan

drawing title

C	11.07.23	PCV-1	JD
B	17.05.23	SF6, CONTRACT ISSUE	JD
A	03.05.23	PRELIMINARY ISSUE - AD	JD
issue	date	amendment description	by

CONTRACT PLAN 10522

plan issue type

designed: QL drawn: QL checked: JD

C

11/07/2023

contract number

as shown

11/07/2023

printed date:

2 of 12

dwg scale @ A3

sheets in set