



REV	DATE	AMENDMENT	DT	CB
1	16/03/2023	ISSUED FOR INFORMATION	PJS	CD

DEVELOPMENT NOTES

ALL WORKS WITHING ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAILED WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND DOCUMENTATION PROVIDED BY RELEVANT CONSULTANTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.

BOUNDARY LOCATIONS AND PROPOSED WORKS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL UNDERGROUND SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED "CONSTRUCTION".

DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.

ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

PROVIDED DOWN PIPES IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & AS2160 METAL RAINWATER GOODS.

PROVIDE LIFT OFF HINGES TO WC DOORS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

PROVIDE WATERPROOFING SYSTEM TO ALL WET AREAS IN ACCORDANCE WITH CLAUSE 3.8.1 OF THE BCA & AS3740.

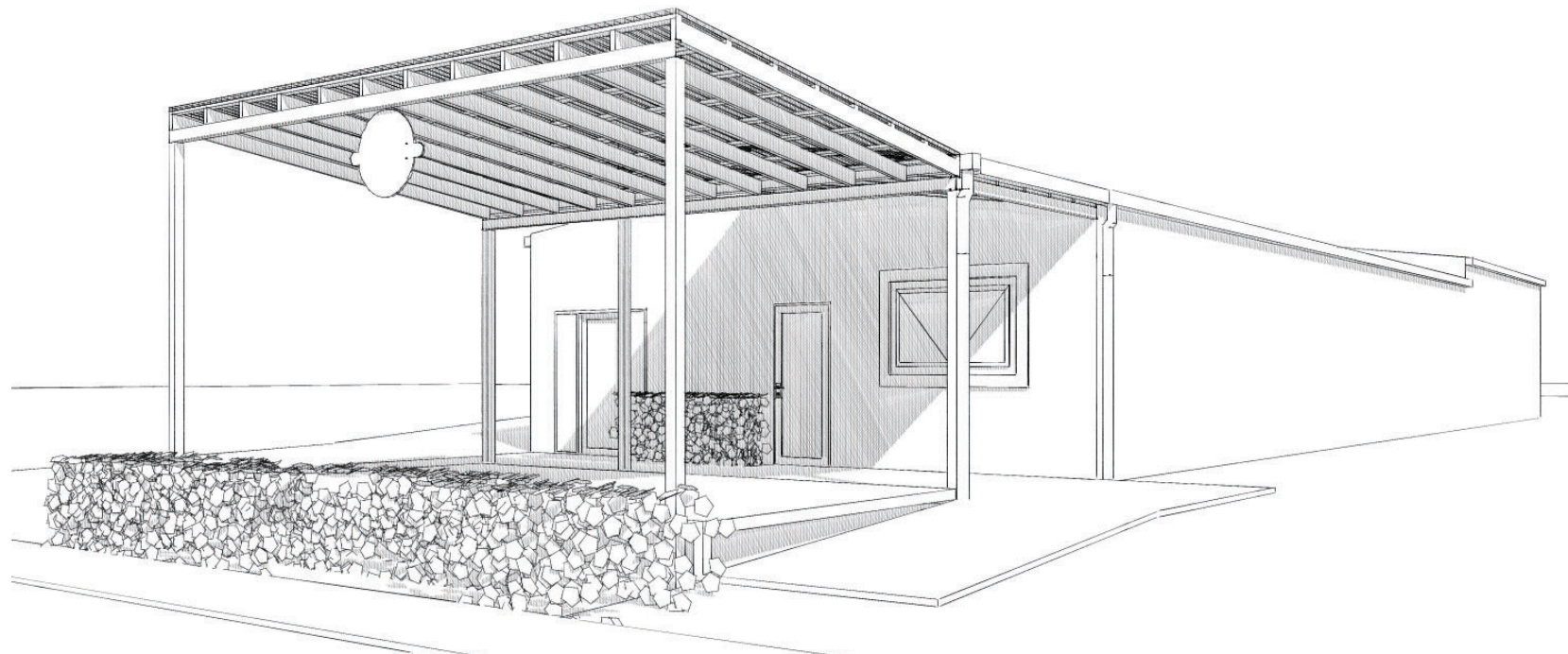
PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS3602.1.

INSULATION MUST BE INSTALLED IN ACCORDANCE WITH PART 3.12.1.1 OF THE BUILDING CODE OF AUSTRALIA.

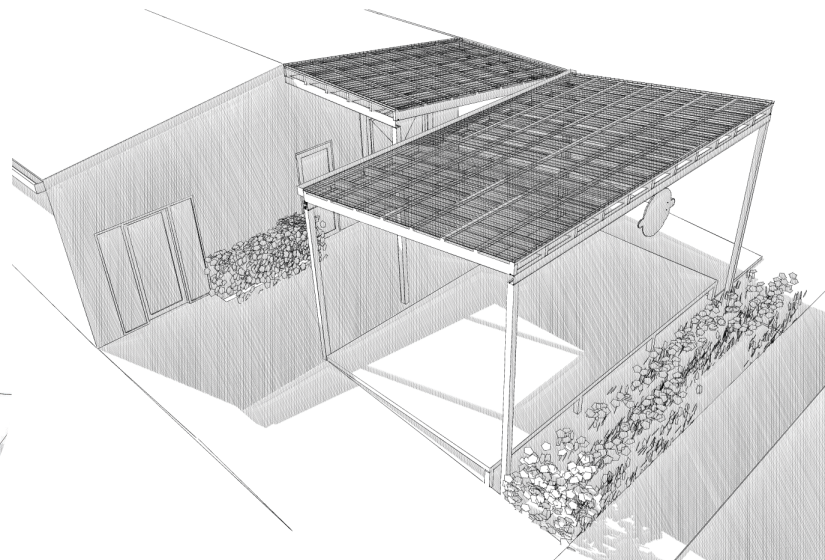
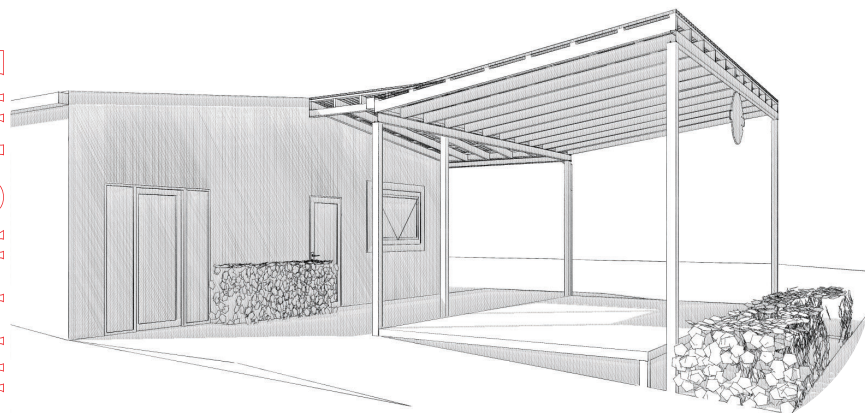
INSULATION MUST COMPLY WITH AS/NZS 4859.1 AND THE BASIX CERTIFICATE.

CONDENSATION MANAGEMENT TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.7 OF THE BUILDING CODE OF AUSTRALIA.

OFF-STREET CAR PARKING & VEHICLE ACCESS IN ACCORDANCE WITH AS/NZS 2890.1-2:2004.



ARTIST IMPRESSION
NOT TO SCALE



FOR APPROVAL

Client
Ben Ryan
Project Name
FRONT AWNING ADDITION
31 HILL ST
URALLA NSW 2358

Drawing Title:
ARTISIT IMPRESSIONS

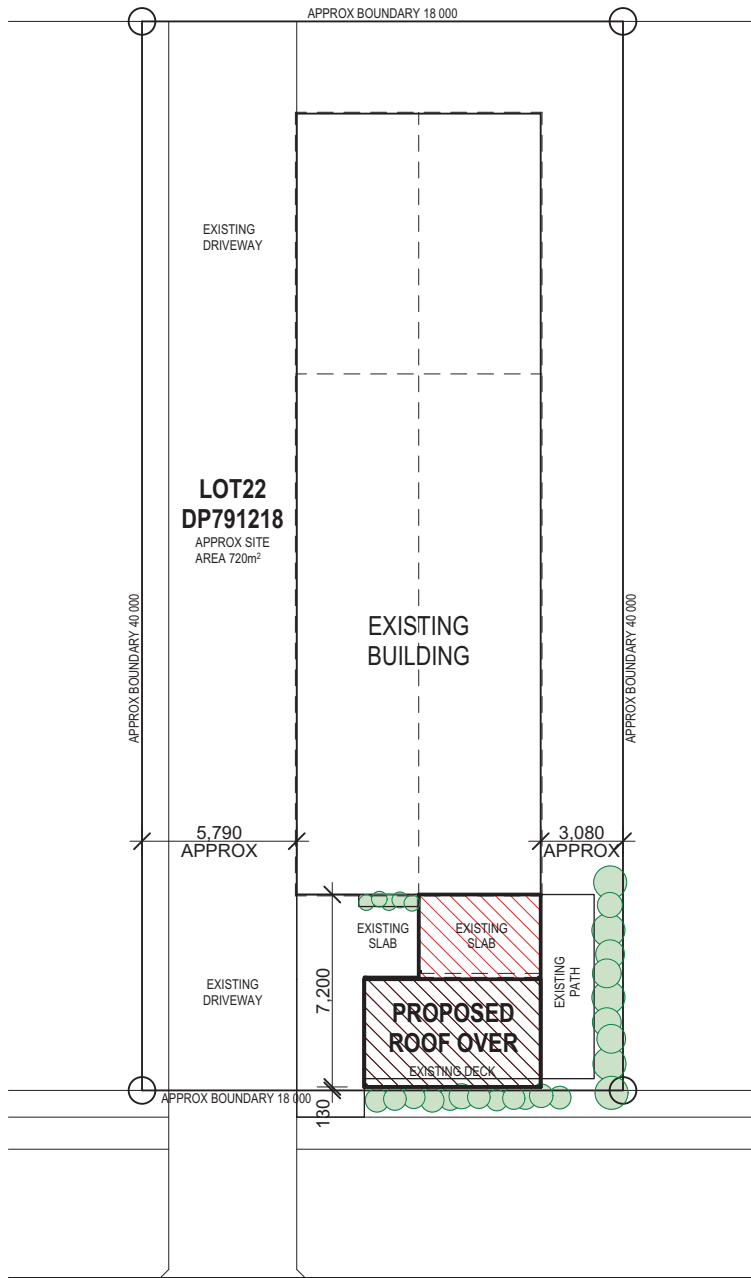
Status: FOR APPROVAL Scale: @ A3

Project No:
22064

Sheet No:
WD1

Plot Date: 16/03/2023

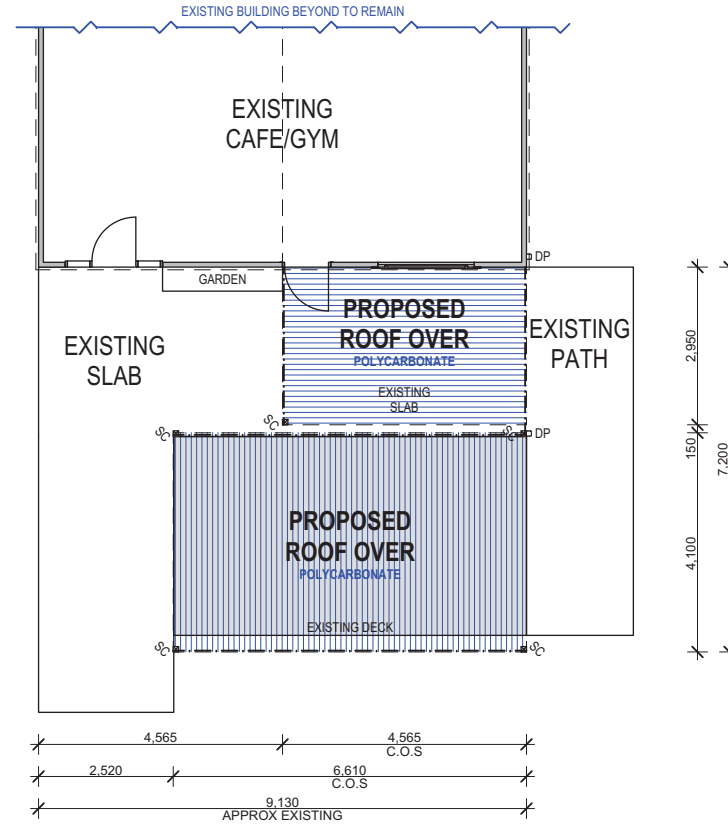
FOR APPROVAL



HILL STREET

SITE PLAN

SCALE 1:200@A3



PROPOSED FLOOR PLAN

SCALE 1:100@A3

NOTE:
BUILDER TO CONFIRM SITE LEVELS AND
EARTHWORKS PRIOR TO CONSTRUCTION

NOTE:
STORMWATER DIRECTED TO
KERB DISCHARGING TO COUNCIL
INFRASTRUCTURE

NOTE: ALL MEASUREMENTS ARE APPROXIMATE ONLY.
ALL EXISTING WALLS 'ARE' SHOWN INCLUSIVE OF LININGS.
ALL PROPOSED WORK 'DOES NOT' INCLUDE LININGS.
ALL MEASUREMENTS SHOULD BE CONFIRMED ON
SITE PRIOR TO THE COMMENCEMENT OF WORK.
D&C PROJECTS HOLDS NO RESPONSIBILITY OVER EXISTING
MEASUREMENTS AND SIZES. ANY DISCREPANCIES SHOULD
BE CONFIRMED PRIOR TO CONSTRUCTION.



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PROVIDE LIFT OFF HINGES TO WC DOORS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

PROVIDE WATERPROOFING SYSTEM TO ALL WET AREAS IN ACCORDANCE WITH CLAUSE 3.1.1 OF THE BCA & AS1404.

PROVIDE TERMITES PROTECTION IN ACCORDANCE WITH AS3602.1 INSULATION MUST BE INSTALLED IN ACCORDANCE WITH PART 3.12.1 OF THE BUILDING CODE OF AUSTRALIA.

INSULATION MUST COMPLY WITH AS/NZS 4859.1 AND THE BASIX CERTIFICATE.

CONDENSATION MANAGEMENT TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.7 OF THE BUILDING CODE OF AUSTRALIA.

OFF-STREET CAR PARKING & VEHICLE ACCESS IN ACCORDANCE WITH AS/NZS 2890.1:2004.

LEGEND

WT 3000 LITRE WATER TANK
TP 200x200 TIMBER POST
BP 350x350 BRICK PIER
SC 90x90 STEEL COLUMN
DP DOWNPIPE
RC REINFORCED CONCRETE
WM WATER METER
CL CLOTHES LINE
HWU HOT WATER UNIT
MSB MAIN SWITCH BOARD
FFL FINISHED FLOOR LEVEL
FSL FINISHED SLAB LEVEL
EGL EXISTING GROUND LEVEL
FGL FINISHED GROUND LEVEL

SITE LAND ZONING B2

SITE AREAS & COVERAGE

PROPOSED ROOF AREA 41.1m²
TOTAL HARDSTAND AREA 539.0m²

SITE COVERAGE % 74.8%

FLOOR AREAS

APPROX EXISTING BUILDING AREA 265.0m²
EXISTING DECK 24.6m²

TOTAL EXISTING 289.6m²

ROOF AREA
-COLORBOND 27.8m²
-POLYCARBONATE 13.3m²

NEW TOTAL 330.7m²



Client
Ben Ryan

Project Name

FRONT AWNING ADDITION
31 HILL ST
URALLA NSW 2358

Drawing Title:

SITE PLAN & PROPOSED FLOOR PLAN

Status: FOR APPROVAL Scale: 1:200, 1:100 @ A3

Project No: 22064 Sheet No: WD2

Plot Date: 16/03/2023