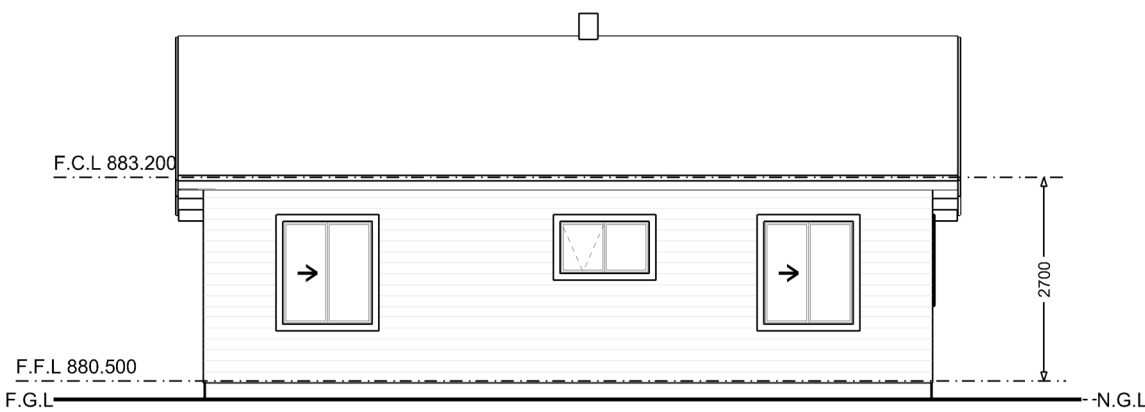
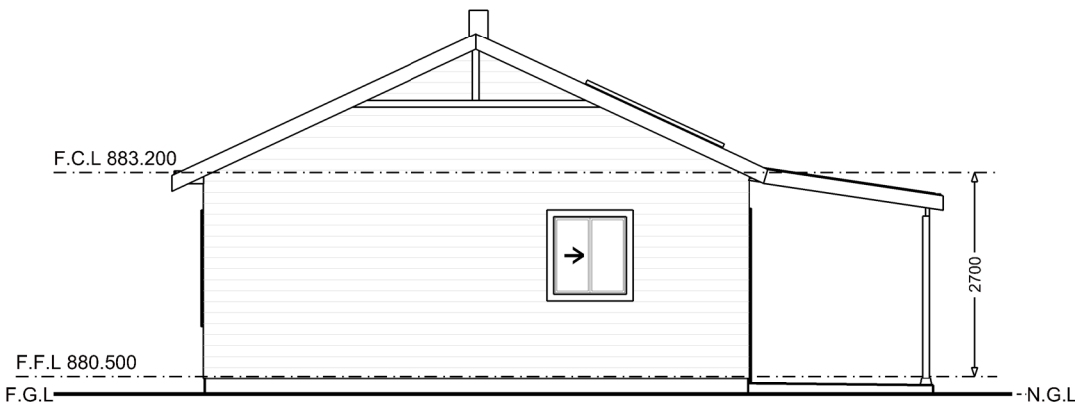


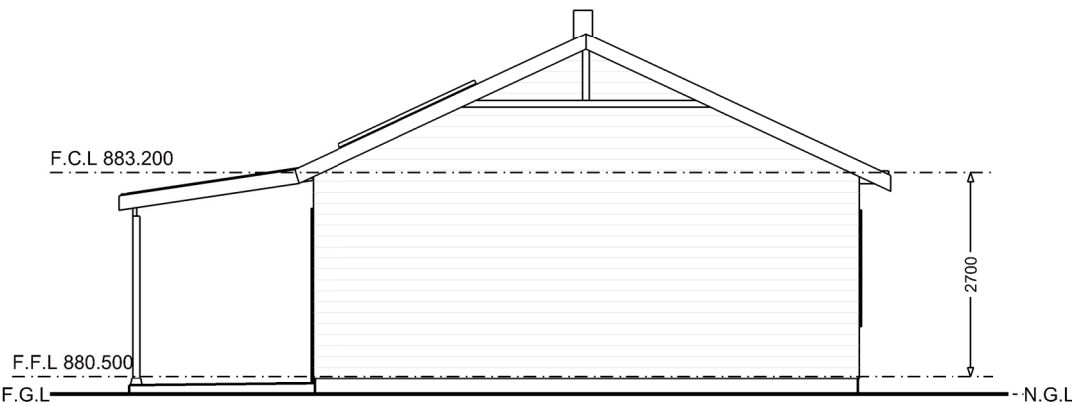
N.W Elevation



S.E Elevation



N.E Elevation



S.W Elevation

CONDENSATION MANAGEMENT - EAVE VENTS SUPPLIED BY OTHERS

NCC 2022 10.8.1 EXTERNAL WALL CONSTRUCTION:  
WHERE FITTED, A PLIABLE BUILDING MEMBRANE MUST;  
\* COMPLY WITH AS4200.1  
\* BE INSTALLED IN ACCORDANCE WITH AS4200.2  
\* BE INSTALLED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER.  
A PLIABLE BUILDING MEMBRANE MUST HAVE A VAPOUR PERMEANCE OF NOT LESS THAN -  
\* 0.143 µg/n.s IN CLIMATE ZONES 4 & 5  
\* 1.14 µg/n.s IN CLIMATE ZONES 6, 7 & 8

NCC 2022 10.8.2 EXHAUST SYSTEMS:  
WHERE FITTED, EXHAUST FANS MUST MEET THE MINIMUM PERFORMANCE REQUIREMENTS OF;  
\* BATHROOM & WC 25L/s  
\* KITCHEN & LAUNDRY 40L/s  
- EXHAUST FROM A KITCHEN, KITCHEN RANGE HOOD, BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST DISCHARGE DIRECTLY OR VIA A SHAFT OR DUCT TO OUTDOOR AIR.  
- ANY CLOTHES DRYER REQUIRING VENTILATION MUST BE VENTILATED TO THE OUTSIDE AIR.  
- IN A NON-VENTILATED WC OR BATHROOM THE EXHAUST MUST BE INTERLOCKED WITH THE LIGHT SWITCH AND INCLUDE A RUN-ON TIMER OF 10mins.

NCC 2022 10.8.3 VENTILATION OF ROOF SPACES:  
ROOF SPACE MUST BE VENTILATED TO THE OUTSIDE AIR BY EVENLY SPACED VENTS IN ACCORDANCE WITH PART 10.8.3 FOR A ROOF PITCH OF >15° AND <75°  
- 7000 mm²/M PROVIDED AT THE EAVES  
- 5000 mm²/M PROVIDED AT THE RIDGE (within 900mm vertically of the ridge)

VENTILATION OPENINGS ARE SPECIFIED AS A MINIMUM FREE OPEN AREA PER METRE OF THE LONGEST HORIZONTAL DIMENSION OF THE ROOF. A MINIMUM 20mm AIR GAP MUST BE MAINTAINED BETWEEN THE CEILING INSULATION AND THE UNDERSIDE OF THE ROOF SARKING AT THE POINT WHERE THE ROOFING PASSES OVER THE EXTERNAL WALL.

NOTE - BUSHFIRE PRONE AREAS  
IN ACCORDANCE WITH AS3959 ADDITIONAL VENT COUNTER MEASURES (SUCH AS EMBER GUARD MESH) WILL BE REQUIRED WHERE THE STRUCTURE IS IN A BUSHFIRE PRONE AREA.

EXTERNAL MATERIAL FINISHES AND COLOURS

COLORBOND CORRUGATED ROOFING - WOODLAND GREY  
WINDOWS - CUSTOM BLACK  
EXTERNAL CLADDING - PRIMELINE NEWPORT

LEVELS

ALL LEVELS INDICATED ARE ASSUMED.  
CONFIRM LEVELS ON SITE.

DESIGNED FOR

WIND SPEED LOAD	N3
FIRE RATING	BAL 12.5



COUNCIL ISSUE

			DESIGNED AND SUPPLIED BY PAAL Homes Pty Ltd	SCALE 1:100 on A3	PROPOSED NEW RESIDENCE FOR Mr R.McDonald at Lot 10, D.P.285189 No.189 Balala Road, Balala, N.S.W. - 2358
				PRINTED ON 22-05-2023	
				DRAWN J.D	
				E.V 30 (2.1.961)	
				Issue B	
B	22-05-2023	COUNCIL ISSUE	P.O Box 290 Penrith NSW 2751 Ph: (02) 4735 4377 Copyright PAAL Homes 2023	DWG No. 3/6	JOB No. M5994-GF
A	10-05-2023	PRELIMINARY ISSUE - NOT FOR COUNCIL SUBMISSION			
REV	DATE	DESCRIPTION			